



**CITY OF ALBION DOWNTOWN DEVELOPMENT AUTHORITY**  
**REGULAR MEETING**  
**WEDNESDAY, MAY 11, 2016**  
**MAYOR'S OFFICE**  
**112 W. CASS ST., ALBION, MI 49224**  
**7:30 A.M.**

**MIKE TYMKEW-CHAIRPERSON**

---

**AGENDA**

- I. Call To Order (Reminder: turn off cell phones)
- II. Roll Call of the DDA
- III. Approval of Prior Meeting Minutes
  - April 13, 2016 Regular Meeting
- IV. Correspondence
- V. Order of Business
  - A. Planning for June 9<sup>th</sup>, 2016 Meeting with Downtown Businesses
  - B. Ismon House Update
  - C. Car Cruise Update
  - D. Miscellaneous Items
  - E. Excuse Absent Board Members
- VI. Citizen Comments (Persons addressing the DDA shall limit their comments to no more than 5 minutes. Proper decorum is required.)
- VII. Adjournment

City Of Albion  
 Albion Downtown Development Authority  
 Regular Meeting Minutes – April 13, 2016

I. CALL TO ORDER

Chairperson Mike Tymkew called the meeting to order at 7:30 a.m.

II. ROLL CALL

	Scott Brown		X	Jennifer Yawson
X	Joseph Domingo, Mayor		X	Peggy Sindt
X	Alfredia Dysart-Drake		X	Mike Tymkew
	Nora Jackson		X	Nidia Wolf
X	Marcola Lawler		X	Don Masternak
	Scott Evans			

Administration: Sheryl L. Mitchell, City Manager; Jill Domingo, City Clerk and John Tracy, Planning/Building & Code Enforcement Director.

III. Approval of Prior Meeting Minutes

A. March 9, 2016 Regular Meeting Minutes

Correction to prior minutes are as follows:

Board Member Wolf asked to have previous minutes changed to include the following:

Under Citizens Comments add: Mayor Domingo stated each downtown business should be treated fairly and equally.

Motion by Wolf, supported by Lawler to approve prior regular meeting minutes with the above correction to the March 9, 2016 minutes.

**(MOTION carried, voice vote)**

IV. Correspondence – NONE

V. Order of Business

A. Downtown Parking - Review

City Manager Mitchell asked the DDA Board how they would like to approach the downtown reconstruction project and also for a long term ten year plan for the downtown area. Would the DDA like to handle this process themselves or create a subcommittee? The downtown will lose half of the parking on Superior Street during reconstruction. The south end will be done first and then the north end of the street. The halfway point of closure will be Cass Street. The reconstruction will not be completed until September, 2017.

The consensus of the Board is the DDA will work on the goals for the downtown area, breaking it down in segments at regularly scheduled meetings.

Comments were received from Tymkew, Wolf, Yawson, Domingo, Masternak and Tracy.

#### B. Car Show

Board Member Wolf stated she has been attempting to contact and meet with Robbie Hayes, an Albion Fellowship student pertaining to the car show. Mr. Hayes had expressed interest in taking over the car show but Board Member Wolf has been unable to make contact. Board Member Wolf stated she will continue to work on the car show until she is able to work with Mr. Hayes. She stated the date for the car show is June 30<sup>th</sup>, 2016. The following items will need to be confirmed for the car show:

- Talk to MDOT about street closure ( will need to be closed for 6 hours)
- Talk to Public Safety about patrolling the car show
- Check on the power for the DJ downtown
- Check to see if there be any issues with the hotel construction

Comments were received from Domingo, Sindt, Wolf, Mitchell and Tymkew.

#### C. Approve Sponsorship of Festival of the Forks

The Board had the following questions/comments:

- Has the DDA sponsored the Festival in the past?
- The Board would like to know what we have done for the past two years.

Wolf moved, supported by Masternak supported, CARRIED, to **NOT APPROVE** sponsorship for the Festival of the Forks due to budget constraints.

Comments were received from Tymkew, Wolf, Domingo, Mitchell and Dysart-Drake.

**(MOTION carried, voice vote)**

#### D. DDA Vision for Downtown (Pedestrian friendly, non-motorized (bike) pathways, road diet, bump outs, tree replacement)

City Manager Mitchell stated the City Council has approved the four (4) to three (3) lane conversion (road diet), the bump outs and tree replacement for the 2017 Superior Street Reconstruction project. All downtown trees will be removed and replaced. The Tree Committee is in agreeance with MDOT to place a similar but smaller tree. They will also be placing grates around the trees. The downtown businesses would like to see a different type of tree as the current ones are messy when the fruit blooms on the trees.

City Manager Mitchell stated she would like a motion of support for the tree replacement from the DDA Board.

The DDA Board had the following questions/concerns:

- The DDA Board feels they have no authority in the downtown project.
- They feel all decisions have been made and a motion would be a moot point.
- What is the role of the DDA in the reconstruction project?

Comments were received from Domingo, Masternak, Yawson, Dysart-Drake, Wolf, Sindt and Tymkew.

#### E. Miscellaneous Items

Board Member Lawler asked what the vision is for the back of businesses on Clinton Street with the reconstruction project. She feels it needs some paint or something to help make it look nicer. Would the DDA be able to help fund this type of a project?

Concerns/comments were as follows:

- The DDA has not helped businesses previously with the back of buildings.
- Downtown businesses are encouraged to clean up buildings.
- The reconstruction will run from April 2017 through September 2017.
- Not having a designated staff person makes it more difficult.
- The DDA previously only helped with signage and did not offer any other monetary help for the downtown businesses.
- MDOT will be providing some signage
- Would like to invite downtown business owners to a meeting to discuss plans and time frames for the downtown project.

The consensus of the Board is to target a meeting for June 9<sup>th</sup> at 6:00 p.m. at the Albion District Library to meet with downtown businesses and discuss plans for the downtown reconstruction project. Chair Tymkew and City Manager Mitchell will put together a flyer that Board Member Sindt will hand deliver to all downtown businesses. The Board also wishes to extend an invitation for an MDOT representative to do a short presentation and also have drawings of the project. They would also ask a representative from the Tree Committee come to the meeting to answer questions they may have on the downtown tree replacements.

#### F. Excuse Absent Board Members

Moved by Sindt, supported by Domingo to excuse Board Members Brown, Jackson and Evans.

**(MOTION carried, voice vote)**

#### VI. Citizens Comments (Persons addressing the DDA shall limit their comments to no more than 5 minutes. Proper decorum is required.)

- Yawson asked about a possible Dairy Queen next to Taco Bell and also a Golden Corral coming to town.
- Tracy stated he had not heard anything pertaining to a Dairy Queen and that in order for a Golden Corral to come to town, they would need to serve 600 meals per day.
- Sindt stated she had not heard of either business coming to town.

- The Albion hotel will open in 2017.
- The Brewery is still interested in opening a business downtown.

Additional comments were received from Tymkew and Domingo.

## VII. ADJOURNMENT

Motion by Yawson, supported by Sindt to adjourn the meeting of the DDA.

**(MOTION CARRIED, voice vote).**

Meeting adjourned the meeting at 8:30 a.m.

Recorded by Jill Domingo, City Clerk

# INFORMATION ONLY

**Jill Domingo**

---

**From:** Sheryl Mitchell  
**Sent:** Friday, May 06, 2016 10:56 AM  
**Subject:** FW: Groundbreaking Celebration 5/12 @ 10:30 AM



**Dear Sheryl,**

You are cordially invited to attend the Groundbreaking Celebration of the *Courtyard by Marriott* Hotel in downtown Albion, MI, hosted by City of Albion Mayor Joe Domingo, Albion Economic Development Corporation President Peggy Sindt, and Albion College President Mauri Ditzler.

**Hotel Groundbreaking Ceremony and Celebration  
Thursday, May 12, 2016, 10:30 AM  
Future Hotel Site (on the corner of Superior and Center St.)  
Downtown Albion, MI**

Coffee and light breakfast will be provided. For questions, please call (517) 629-0448 or email [collegeevents@albion.edu](mailto:collegeevents@albion.edu).

This email is being sent as a courtesy to Albion College, Albion EDC, and the City of Albion - all members of the Greater Albion Chamber of Commerce & Visitors Bureau. The Chamber does not have additional information pertaining to this event: please contact Albion College (517) 629-1000 for more information.

Greater Albion Chamber of Commerce & Visitors Bureau, 310 S. Superior St.,  
P.O. Box 238, Albion, MI 49224

[SafeUnsubscribe™ smitchell@cityofalbionmi.gov](mailto:SafeUnsubscribe%20smitchell@cityofalbionmi.gov)

[Forward this email](#) | [Update Profile](#) | [About our service provider](#)  
Sent by [president@greateralbionchamber.org](mailto:president@greateralbionchamber.org) in collaboration with

# ALBION DOWNTOWN DEVELOPMENT AUTHORITY

112 W. Cass Street  
Albion, MI 49224

## ALBION DDA BOARD

Michael A. Tymkew,  
Chairperson  
Mayor Joseph Domingo  
Scott Brown  
Alfredia Dysart-Drake  
Scott Evans

## ALBION DDA BOARD

Nora Jackson  
Marcola Lawler  
Don Masternak  
Jennifer Schreer  
Peggy Sindt  
Nidia Wolf

April 25, 2016

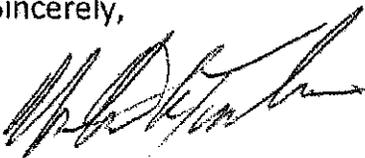
Dear Albion Business / Property Owner,

There are many exciting new changes going on in Albion's Downtown District! We are writing to invite you to a meeting on **Thursday, June 9, 2016 at 6:00pm** in the Naomi Lane Room of the Albion District Library, located at 501 S. Superior Street, Albion, MI 49224. There will be light refreshments.

It is our intention to share information regarding the 2017 reconstruction of Superior Street and upcoming projects in the downtown area, including the Albion Hotel. We are also interested in hearing from you in regards to parking needs both during the 2017 construction and long-term, as well as any other questions or concerns.

We hope that you or a representative from your organization will be able to join us. Please confirm your attendance with Jill Domingo at 517-629-7864 or [jadomingo@ci.albion.mi.us](mailto:jadomingo@ci.albion.mi.us).

Sincerely,



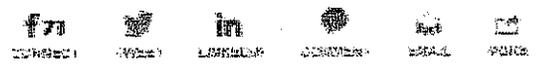
Michael A. Tymkew  
Chairperson  
Albion Downtown Development Authority

# Sindt to retire from Albion Economic Development Corp.

 Dillon Davis, Battle Creek Enquirer 1:47 p.m. EDT May 5, 2016



(Photo: Enquirer file)



ALBION -- Peggy Sindt, president and CEO of the Albion Economic Development Corp., will retire from her position later this year after more than two decades with the organization.

Sindt, 64, informed the AEDC's board of directors of her decision to retire earlier this year. She will remain

in the position until the end of September and will assist the organization in its CEO transition.

During her tenure with the organization, Sindt was a part of the recruitment of Georgia-Pacific's corrugated board plant, the Ossur Prosthetics manufacturing facility, an expansion of the area's industrial park and the area's recent downtown hotel project, among others, according to Thursday news release from the organization.

 BATTLE CREEK ENQUIRER  
Albion hotel project begins with demolition work

Sindt said she's been "honored" to serve the Albion community's economic development efforts.

"There have been many successes over the years, including expansion of many local businesses and recruitment of new ones," she said. "Downtown is undergoing a dramatic revitalization and neighborhoods are getting much attention. City of Albion staff is dedicated to delivering first-class services and it has been a pleasure to collaborate with many of them as EDC seeks to support the creation of more jobs and capital investment in the community."

The organization's board chairman, Herman McCall, said Sindt has provided "a model for effective leadership, innovative thinking, and collaborative resource development." Its past board chair, Joyce Spicer, also credited Sindt for developing an alliance with the Michigan Economic Development Corp. to aid in the area's business recruitment and retention efforts.

Sindt is a 1973 graduate of Albion College, where she studied English and political science. She later completed her MBA in 1984 from the University of Michigan's Stephen M. Ross School of Business.

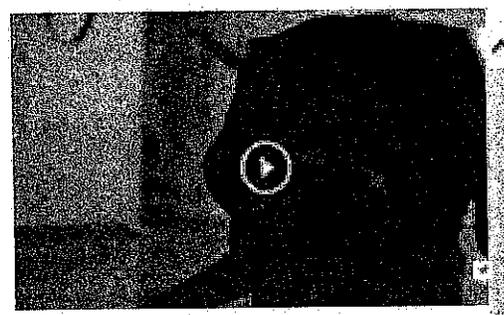
She's also the second person in her household to call it a career in the past year.

Her husband, Calhoun County Circuit Court Judge Conrad Sindt, retired from the bench in September ahead of the completion of his six-year term, which was scheduled to end Dec. 31, 2018.

Contact Dillon Davis at 269-996-0898 or [dwdavis@battlecreekenquirer.com](mailto:dwdavis@battlecreekenquirer.com). Follow him on Twitter: @DillonDavis

Franklyn  
ESTES & DOWDLE  
FUNERAL • CREMATION • PRENEED CARE  
Here for your family  
Learn More

## TOP VIDEOS



Furry fire investigator sniffs out trouble  
01:22

 These massive lions play just like house cats  
00:55

# Walkable Cities Workshop

May 12, 2016

6:00 pm – 7:00 pm

Washington Gardner School

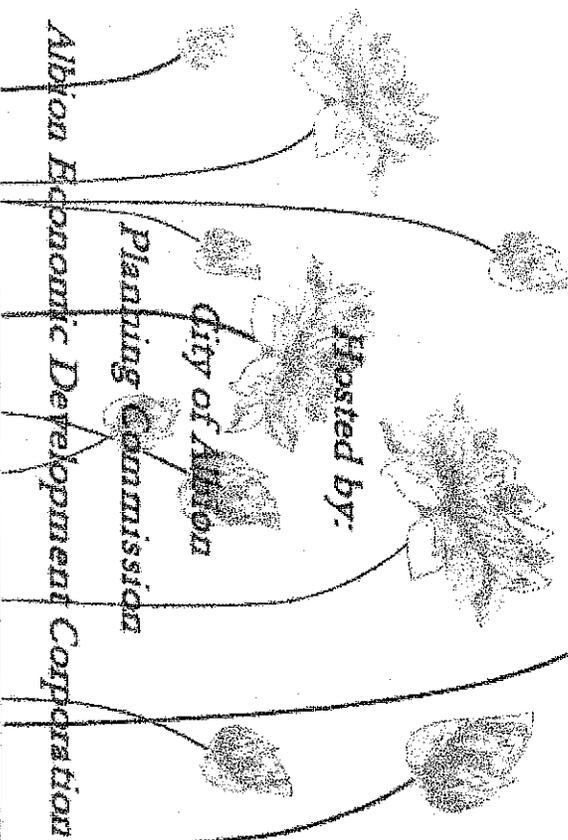
(401 E. Michigan Ave.)

Hosted by:

City of Albion

Planning Commission

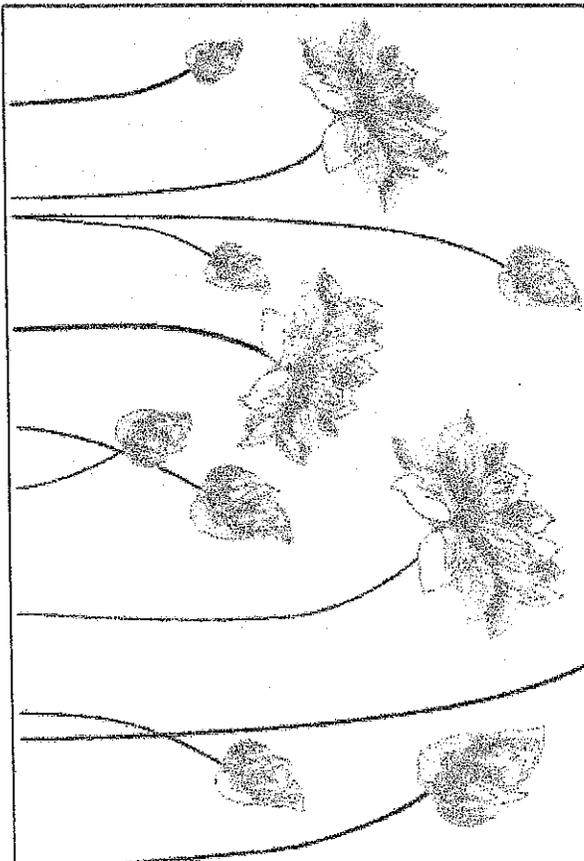
Albion Economic Development Corporation



Local artists, musicians, nature  
enthusiasts, business owners, and  
residents,

please join us to discuss the  
components of a good walk and how  
it can benefit Albion

Refreshments will be provided



# SCHEDULE OF VALUES

Architect: CLS Design  
 Contractor: David Bontrager  
 Project: Mary Sheldon Ismon House (3rd floor renovations)

Application No:  
 Application Date:  
 Period to:  
 Architect's Project No: 1424

A Item No.	B Description of Work	C Scheduled Value	D Work Completed		E This Period	F Materials Presently Stored (Not in D or E)	G Total Completed and Stored to Date (D+E+F)	G % (G/C)	H Balance to Finish	I Retainage
			From Previous Application (D+E)	Application (D+E)						
1	General Conditions	\$18,000.00			\$6,000.00		6,000.00	33%	\$12,000.00	
2	Demolition	\$9,500.00			\$9,000.00		9,000.00	95%	\$500.00	
3	Flooring	\$19,250.00			\$2,887.50		\$2,887.50	15%	\$16,362.50	
4	Drywall	\$26,503.50			\$0.00		0.00	0%	\$26,503.50	
5	Doors and Hardware	\$6,000.00			\$0.00		0.00	0%	\$6,000.00	
6	Rough Carpentry	\$15,550.00			\$12,400.00		\$12,400.00	80%	\$3,150.00	
7	Wood trim & moldings	\$10,600.00			\$0.00		\$0.00	0%	\$10,600.00	
8	Woodwork Refurbish	\$10,500.00			\$0.00		\$0.00	0%	\$10,500.00	
9	Painting	\$8,200.00			\$0.00		\$0.00	0%	\$8,200.00	
10	Storage	\$2,000.00			\$0.00		\$0.00	0%	\$2,000.00	
11	Bathroom	\$10,250.00			\$5,125.00		\$5,125.00	50%	\$5,125.00	
12	Plumbing	\$14,578.00			\$0.00		0.00	0%	\$14,578.00	
13	Mechanical	\$35,762.00			\$0.00		0.00	0%	\$35,762.00	
14	Electrical	\$26,143.00			\$0.00		0.00	0%	\$26,143.00	
15										
16										
17										
18										
19										
20										
21										
22										
23										
24										
25										
Totals		\$212,836.50	\$0.00	\$35,412.50	\$0.00	\$0.00	\$35,412.50		\$177,424.00	\$0.00

RECEIVED  
 FEB 23 AM  
 BY

*Approved: Shirley Allen, General Service*

248-806-802, 00

*From 2-23-16*





STATE OF MICHIGAN

RICK SNYDER  
GOVERNOR

MICHIGAN STATE HOUSING DEVELOPMENT AUTHORITY

KEVIN ELSENHEIMER  
EXECUTIVE DIRECTOR

Project #:	HRP15-003
Project Name:	Mary Sheldon Ismon House Second and Floor Interior Rehabilitation

## Michigan Heritage Restoration Program

### Quarterly Progress Report

April 15, 2016

This Michigan Heritage Restoration Program Quarterly Report is due April 15, 2016.

1. Project signs must be erected prior to the start of work. Please provide a photograph of the project sign as soon as it is erected. Indicate date the sign was erected on **February 21, 2016**. See attached photo

2. Briefly describe work accomplished to date (please relate the description to the project work outlined in the subgrant agreement). Note any special problems which may affect the completion of the project by the due date.

**Photos are attached which show the progress.**

**The Plan review was completed by Cornerstone Inspection Services on 2-23-16.**

**Approval was given with no comments made on the drawings.**

#### Architectural:

- The damaged areas of the hardwood floor have been patched on the third floor. Final sanding and finishing will not occur until all overhead work is complete.
- The structure for the southeast stair has been reconfigured.
- The east stair has been disassembled and the spindles have been removed and cataloged for reinstallation in the original location. The spindles can be cleaned more thoroughly while removed and the treads can also be replaced and repaired.
- The new studding is installed surrounding the second floor toilet room.
- Drywall installation has begun on the third floor

#### Mechanical:

- Rough plumbing has been installed and inspected at the second and third floor toilet rooms and warming kitchen.
- Mechanical ductwork is 90% installed on the second floor. The furnace for the second floor has been installed.
- The mechanical unit has been installed on the third floor, but the exposed

State Historic Preservation Office

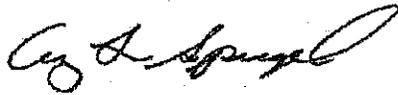
Michigan Library and Historical Center • 702 West Kalamazoo Street • P.O. Box 30740 Lansing, Michigan 48909-8240  
michigan.gov/shpo • 517.373.1630 • FAX 517.335.0348 • TTY 800.382.4568



spiral duct will not be installed until the ceiling drywall is complete. The spiral duct is on site.

**Electrical:**

- All electrical has been roughed in and inspected as of 3-31-16.
3. Review your performance schedule and briefly explain any anticipated need for changes in due dates. If changes are needed, please propose a revised schedule.  
**Bontrager Construction was awarded the contract on March 22, 2016 and began to mobilize on the March 23, 2016**  
**Any changes to project thus far have been minor and do not affect the schedule. The previously submitted project schedule is still valid.**
  4. Are there any anticipated changes in the scope of work or budget? Please explain:  
**The following are changes that have been made: Attached is the resulting Bulletin #1, which explains in detail.**
    1. Southeast stair was reconfigured due to head room clearance issues. The building inspector had stopped by the site and discussed this issue with David Bontrager and a solution was reached.
    2. The access door to mechanical space above the warming kitchen will be a small swing door located above the bathroom door in lieu of the ceiling access panel within the warming kitchen.
    3. A 6 gal water heater will be installed in lieu of the tankless water heater in the warming kitchen. This will be tucked in the small alcove in the northwest corner of the room.
  5. Prepare a comparison budget, which shows the original budget approved in the subgrant agreement, paid invoices and total anticipated expenditures for the remainder of the project.  
**There have been 3 executed pay applications to date. Attached please find pay apps #1, #2 and #3.**  
**We are currently approximately 46% complete at the last payment.**



Project Coordinator (signature)

4-15-15

Date

Please print out, sign and fax or email the report to:

Joelle Y. Letts

Grants Manager/Budget Analyst

Michigan State Housing Development Authority

State Historic Preservation Office

Phone: (517) 373-1904

Fax: (517) 335-0348

Email: LettsJ1@michigan.gov

State Historic Preservation Office

Michigan Library and Historical Center • 702 West Kalamazoo Street • P.O. Box 30740 Lansing, Michigan 48909-8240  
michigan.gov/shpo • 517.373.1630 • FAX 517.335.0348 • TTY 800.382.4568

# SCHEDULE OF VALUES

Architect: **CLS Design** Application No: **1**  
 Contractor: **David Bontrager** Application Date: **2/24/2016**  
 Project: **Mary Sheldon Ismon House (3rd floor renovations)** Period to: **2/24/2016**  
 Architect's Project No: **1424**

A Item No.	B Description of Work	C Scheduled Value	D Work Completed From Previous Application (D+E)	E		F Materials Presently Stored (Not in D or E)	G Total Completed and Stored to Date (D+E+F)	H Balance to Finish	I Retainage
				This Period	% (G/C)				
1	General Conditions	\$18,000.00		\$6,000.00	33%		6,000.00	\$12,000.00	\$600.00
2	Demolition	\$9,500.00		\$9,000.00	95%		9,000.00	\$500.00	\$900.00
3	Flooring	\$19,250.00		\$2,887.50	15%		\$2,887.50	\$16,362.50	\$288.75
4	Drywall	\$26,503.50		\$0.00	0%		0.00	\$26,503.50	\$0.00
5	Doors and Hardware	\$6,000.00		\$0.00	0%		0.00	\$6,000.00	\$0.00
6	Rough Carpentry	\$15,550.00		\$12,400.00	80%		\$12,400.00	\$3,150.00	\$1,240.00
7	Wood trim & mouldings	\$10,600.00		\$0.00	0%		\$0.00	\$10,600.00	\$0.00
8	Woodwork Refurbish	\$10,500.00		\$0.00	0%		\$0.00	\$10,500.00	\$0.00
9	Painting	\$8,200.00		\$0.00	0%		\$0.00	\$8,200.00	\$0.00
10	Signage	\$2,000.00		\$0.00	0%		\$0.00	\$2,000.00	\$0.00
11	Bathroom	\$10,250.00		\$5,125.00	50%		\$5,125.00	\$5,125.00	\$512.50
12	Plumbing	\$14,578.00		\$0.00	0%		0.00	\$14,578.00	\$0.00
13	Mechanical	\$35,762.00		\$0.00	0%		0.00	\$35,762.00	\$0.00
14	Electrical	\$26,143.00		\$0.00	0%		0.00	\$26,143.00	\$0.00
15									
16									
17									
18									
19									
20									
21									
Totals		\$212,836.50	\$0.00	\$35,412.50	17%		\$35,412.50	\$177,424.00	\$3,541.25

Approved: \_\_\_\_\_

Approved: \_\_\_\_\_

# SCHEDULE OF VALUES

Architect: CLS Design  
 Contractor: David Bontrager  
 Project: Mary Sheldon Ismon House (3rd floor renovations)

Application No: 2  
 Application Date: 3/8/2016  
 Period to: 3/8/2016  
 Architect's Project No: 1424

A Item No.	B Description of Work	C Scheduled Value	D Work Completed		E This Period	F Materials Presently Stored (Not in D or E)	G Total Completed and Stored to Date (D+E+F)	H Balance to Finish	I Retainage this period	J Total Retainage
			From Previous Application (D+E)	Application (D+E)						
1	General Conditions	\$18,000.00	6,000.00		\$4,000.00		\$10,000.00	\$8,000.00	\$400.00	\$1,000.00
2	Demolition	\$9,500.00	9,000.00		\$500.00		\$9,500.00	\$0.00	\$50.00	\$950.00
3	Flooring	\$19,250.00	\$2,887.50		\$0.00		\$2,887.50	\$16,362.50	\$0.00	\$288.75
4	Drywall	\$26,503.50	0.00		\$0.00		\$0.00	\$26,503.50	\$0.00	\$0.00
5	Doors and Hardware	\$6,000.00	0.00		\$0.00		\$0.00	\$6,000.00	\$0.00	\$0.00
6	Rough Carpentry	\$15,550.00	\$12,400.00		\$2,500.00		\$14,900.00	\$650.00	\$250.00	\$1,490.00
7	Wood trim & moldings	\$10,600.00	\$0.00		\$0.00		\$0.00	\$10,600.00	\$0.00	\$0.00
8	Woodwork Refurbish	\$10,500.00	\$0.00		\$0.00		\$0.00	\$10,500.00	\$0.00	\$0.00
9	Painting	\$8,200.00	\$0.00		\$0.00		\$0.00	\$8,200.00	\$0.00	\$0.00
10	Signage	\$2,000.00	\$0.00		\$340.00		\$340.00	\$1,660.00	\$34.00	\$34.00
11	Bathroom	\$10,250.00	\$5,125.00		\$0.00		\$5,125.00	\$5,125.00	\$0.00	\$512.50
12	Plumbing	\$14,578.00	0.00		\$13,000.00		\$13,000.00	\$1,578.00	\$1,300.00	\$1,300.00
13	Mechanical	\$35,762.00	0.00		\$0.00		\$0.00	\$35,762.00	\$0.00	\$0.00
14	Electrical	\$26,143.00	0.00		\$12,000.00		\$12,000.00	\$14,143.00	\$1,200.00	\$1,200.00
15										
16										
17										
18										
19										
20										
21										
Totals		\$212,896.50	\$35,412.50		\$32,340.00	\$0.00	\$67,752.50	\$145,084.00	\$3,234.00	\$6,775.25

Total Minus Retainage \$29,106.00

Approved: \_\_\_\_\_  
Craig L. Spiegel

Approved: \_\_\_\_\_  
Shirley Zeller

# SCHEDULE OF VALUES

Architect: CLS Design  
 Contractor: David Bontrager  
 Project: Mary Sheldon Ismon House (3rd floor renovations)

Application No: 3  
 Application Date: 3/31/2016  
 Period to: 3/31/2016  
 Architect's Project No: 1424

A Item No.	B Description of Work	C Scheduled Value	D Work Completed From Previous Application (D+E)	E		F Materials Presently Stored (Not in D or E)	G Total Completed and Stored to Date (D+E+F)	H Balance to Finish	I Retainage this period	J Total Retainage
				This Period						
1	General Conditions	\$18,000.00	10,000.00	\$2,500.00			\$12,500.00	\$5,500.00	\$250.00	\$1,250.00
2	Demolition	\$9,500.00	9,500.00	\$0.00			\$9,500.00	\$0.00	\$0.00	\$950.00
3	Flooring	\$19,250.00	2,887.50	\$0.00			\$2,887.50	\$16,362.50	\$0.00	\$288.75
4	Drywall	\$26,503.50	0.00	\$12,500.00			\$12,500.00	\$14,003.50	\$1,250.00	\$1,250.00
5	Doors and Hardware	\$6,000.00	0.00	\$0.00			\$0.00	\$6,000.00	\$0.00	\$0.00
6	Rough Carpentry	\$15,550.00	14,900.00	\$0.00			\$14,900.00	\$650.00	\$0.00	\$1,490.00
7	Wood trim & moldings	\$10,600.00	0.00	\$0.00			\$0.00	\$10,600.00	\$0.00	\$0.00
8	Woodwork Refurbish	\$10,500.00	0.00	\$0.00			\$0.00	\$10,500.00	\$0.00	\$0.00
9	Painting	\$8,200.00	0.00	\$0.00			\$0.00	\$8,200.00	\$0.00	\$0.00
10	Signage	\$2,000.00	340.00	\$0.00			\$340.00	\$1,660.00	\$0.00	\$34.00
11	Bathroom	\$10,250.00	5,125.00	\$0.00			\$5,125.00	\$5,125.00	\$0.00	\$512.50
12	Plumbing	\$14,578.00	13,000.00	\$0.00			\$13,000.00	\$1,578.00	\$0.00	\$1,300.00
13	Mechanical	\$35,762.00	0.00	\$15,600.00			\$15,600.00	\$20,162.00	\$1,560.00	\$1,560.00
14	Electrical	\$26,143.00	12,000.00	\$0.00			\$12,000.00	\$14,143.00	\$0.00	\$1,200.00
15										
16										
17										
18										
19										
20										
21										
Totals		\$212,836.50	\$67,752.50	\$30,600.00	\$0.00		\$98,352.50	\$114,484.00	\$3,060.00	\$9,835.25

Total Minus Retainage **\$27,540.00**

Approved: \_\_\_\_\_ Craig L. Spiegel

Approved: \_\_\_\_\_ Shirley Zeller



DESIGN

4997 HOLLOWAY ROAD

ADRIAN, MICHIGAN 49221

P. 517.424.4050

## **BULLETIN NO. 1**

---

**Project:** Mary Sheldon Ismon House

**Issued Date:** 2-26-16

**Owner:** Friends of Mary Sheldon Ismon House

**Architect:** CLS Design

**Project No.** 1522

4997 Holloway Road Adrian, Michigan 49221  
(517) 424-4050  
E-mail craig@clsdesign.biz

This Bulletin modifies, clarifies and/or supplements the Contract Documents for the above referenced Project, and may be made a part of the Contract Documents. All bidding contractors shall note all changes in the Work represented in this Bulletin, and submit a cost and/or time change from the original bid. The Contractors shall acknowledge receipt and evaluation of this Bulletin to the Contractor/Construction Manager.

Unless otherwise noted, all materials, workmanship, and services shall be the same as called for in the original Contract Documents. Where changes are made in construction, the contractor shall take into account and shall coordinate all required adjustments made necessary by noted changes, whether each item is specifically noted or not.

---

**The following Documents are Clarifications, Modifications and/or Additions per this Bulletin:**

### **Refer to Architectural Drawings:**

**Refer to Sheet A1.2 (issued):**

**Item A-1:** Refer to Southeast stair #2, 101. Revise Stairs as indicated on attached drawing B1-A.1, B1-A.2, B1-A.3 and B1-A.4.

**Item A-2:** Refer to Warming kitchen. Provide a 30" deep cubby to house the 6 gallon water heater.

**Refer to Sheet A3.1 (issued):**

**Item A-3:** Install access door above toilet room door rather than an access hatch in kitchen ceiling

---

### **Refer to Mechanical Drawings:**

**Refer to Sheet M-1 (issued):**

**Item M-1:** Provide a 6 gallon tank water heater in lieu of the on-demand water heater specified. Locate water heater in the northwest corner of the warming kitchen within the small cubby.

---

### **Refer to Electrical Drawings:**

**Refer to Sheet E-1 (issued):**

There are no electrical changes with this bulletin

---

### **End of Bulletin**

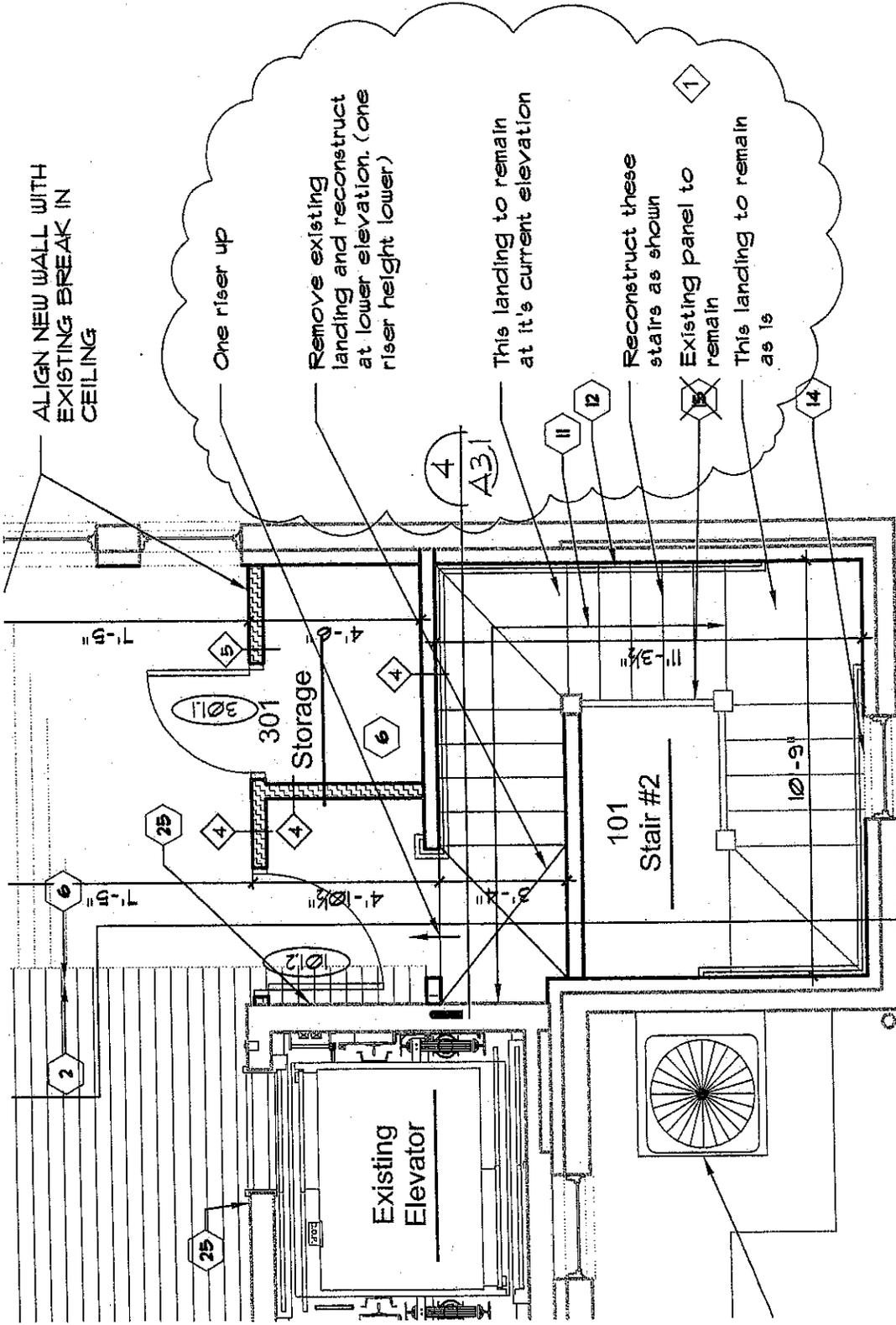
The above instructions are issued to the General Contractor/Construction Manager (GC/CM). The GC/CM shall promptly inform all subcontractors, and all others performing or supplying the Work, of all relevant contents of this Bulletin. The GC/CM shall submit quotations showing change in Contract Sum and/or Time within 20 days following the date of this Bulletin, unless otherwise instructed. If no such quotation is submitted within the time specified, no change to the Contract Sum or Time will be allowed. This Bulletin is not an authorization to proceed, nor a substitute for a Change Order which is required to be executed in accordance with the conditions of the Contract for any cost or time change to the Contract.

Date:	2-28-16	Issued For:	
Date:		Issued For:	

Mary Sheldon Ismon House  
3rd Floor Renovation  
Partial Floor Plan

DESIGN  
CRAIG L. SPIEGEL  
REGISTERED ARCHITECT  
4927 HOLLOWAY ROAD ADRIAN, MI 48221 P-517-424-6050

JOB NO.  
1424  
B1-A.1



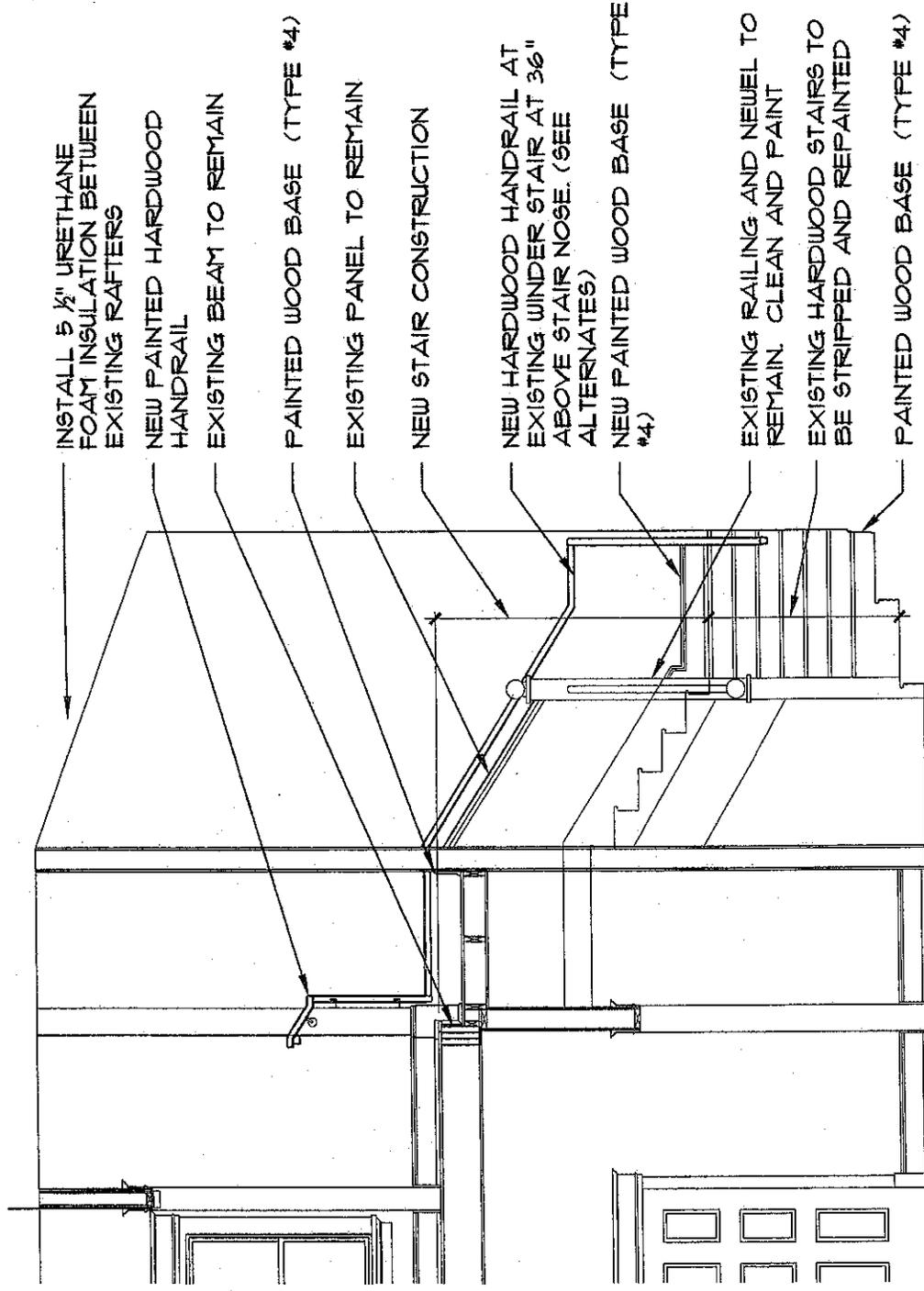
1 Partial 3rd Floor Plan - Stair Revision  
A12 SCALE: 1/4" = 1'-0"

Date:	Issued For:	Issued For:	Issued For:
2-2-16	Billings #1		

Mary Sheldon Ison House  
3rd Floor Renovation  
Stair Section

4927 HOLLOWAY ROAD AGRHAM, RI 02821 P-977-624-0580  
CRAIG L SPIEGEL  
REGISTERED ARCHITECT

JOB NO.  
1424  
B1-A.2



INSTALL 5 1/2" URETHANE  
FOAM INSULATION BETWEEN  
EXISTING RAFTERS

NEW PAINTED HARDWOOD  
HANDRAIL

EXISTING BEAM TO REMAIN

PAINTED WOOD BASE (TYPE #4)

EXISTING PANEL TO REMAIN

NEW STAIR CONSTRUCTION

NEW HARDWOOD HANDRAIL AT  
EXISTING WINDER STAIR AT 36"  
ABOVE STAIR NOSE. (SEE  
ALTERNATES)

NEW PAINTED WOOD BASE (TYPE  
#4)

EXISTING RAILING AND NEWEL TO  
REMAIN. CLEAN AND PAINT

EXISTING HARDWOOD STAIRS TO  
BE STRIPPED AND REPAINTED

PAINTED WOOD BASE (TYPE #4)

3 Southeast Stair Section

SCALE: 1/4" = 1'-0"

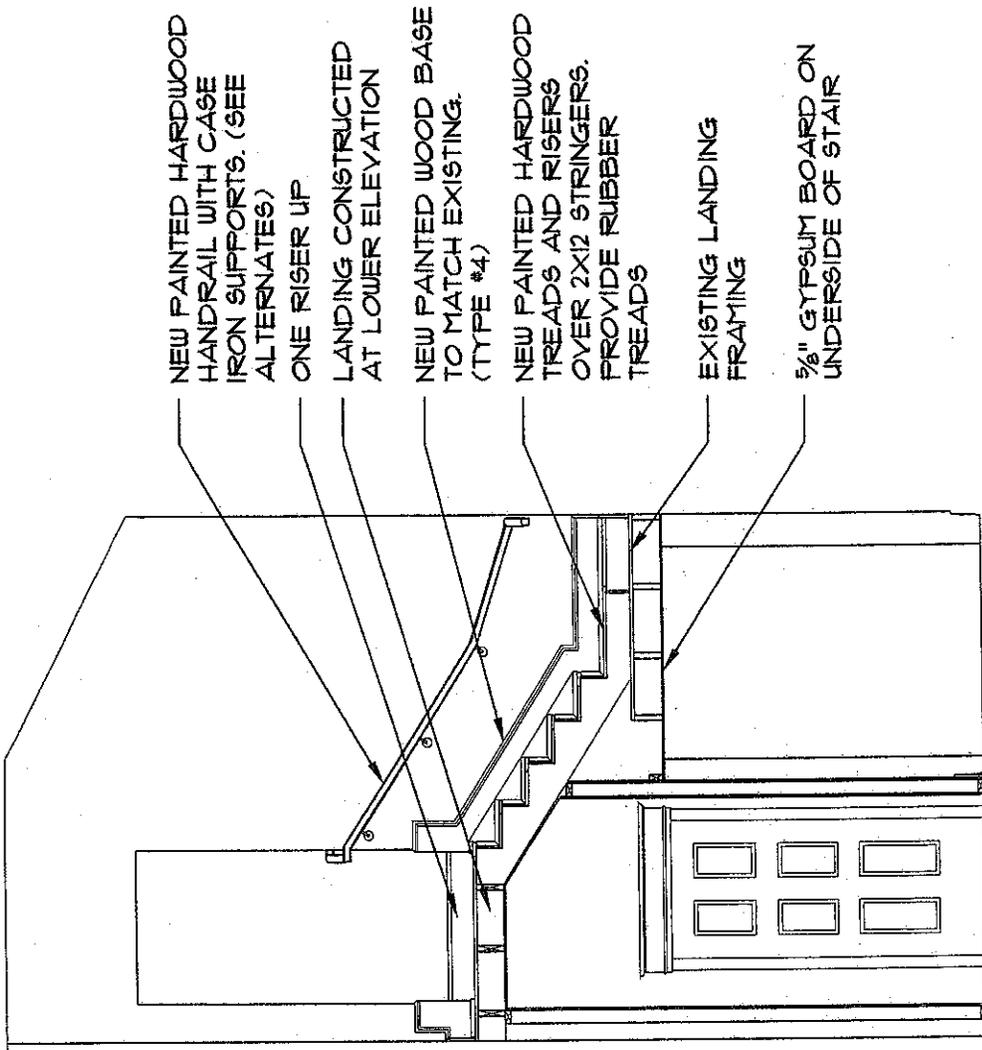
A3.1

Date:	Issued For:	Issued For:
2-24-18	Billin #:	

Mary Sheldon Ismon House  
3rd Floor Renovation  
Stair Section

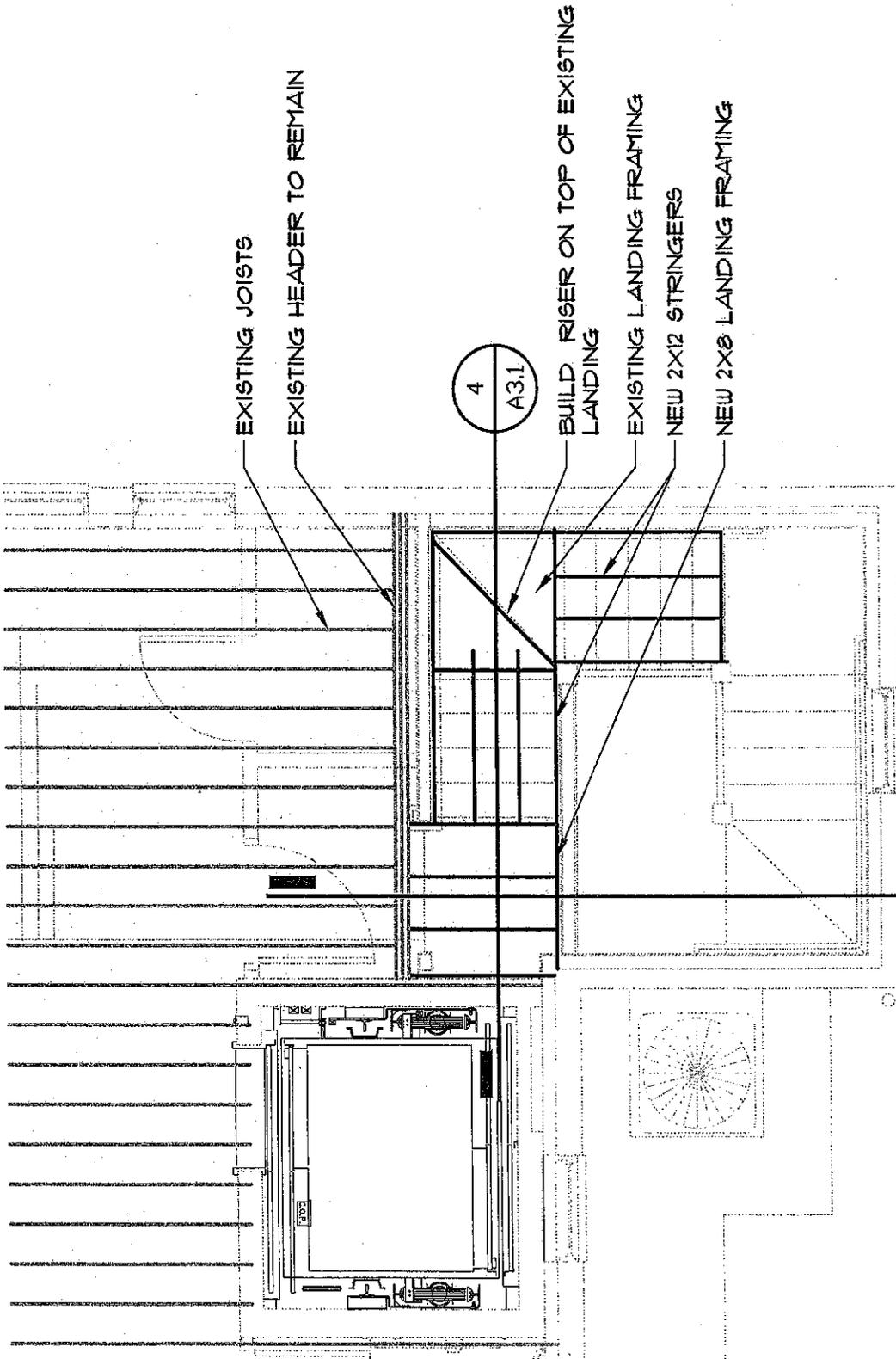
**SPION**  
487 HOLLOWAY ROAD ADMIN., MI 48221 P-517.424.4050  
CRAIG L. SPIEGEL  
REGISTERED ARCHITECT

JOB NO.  
1424  
**B1-A.3**



- NEW PAINTED HARDWOOD HANDRAIL WITH CASE IRON SUPPORTS. (SEE ALTERNATES) ONE RISER UP
- LANDING CONSTRUCTED AT LOWER ELEVATION
- NEW PAINTED WOOD BASE TO MATCH EXISTING. (TYPE #4)
- NEW PAINTED HARDWOOD TREADS AND RISERS OVER 2X12 STRINGERS. PROVIDE RUBBER TREADS
- EXISTING LANDING FRAMING
- 5/8" GYPSUM BOARD ON UNDERSIDE OF STAIR

**4** Southeast Stair Section  
A3.1 SCALE: 1/4" = 1'-0"



EXISTING JOISTS

EXISTING HEADER TO REMAIN

4  
A3.1

BUILD RISER ON TOP OF EXISTING LANDING

EXISTING LANDING FRAMING

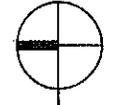
NEW 2X12 STRINGERS

NEW 2X8 LANDING FRAMING

3  
A3.1

5 THIRD FLOOR FRAMING PLAN

SCALE: 1/8" = 1'-0"



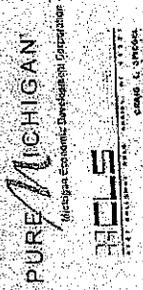
Date:	Issued For:	
2-26-18	Bulfinch #1	

Mary Sheldon Isonon House  
3rd Floor Renovation  
Partial 3rd Floor Framing Plan

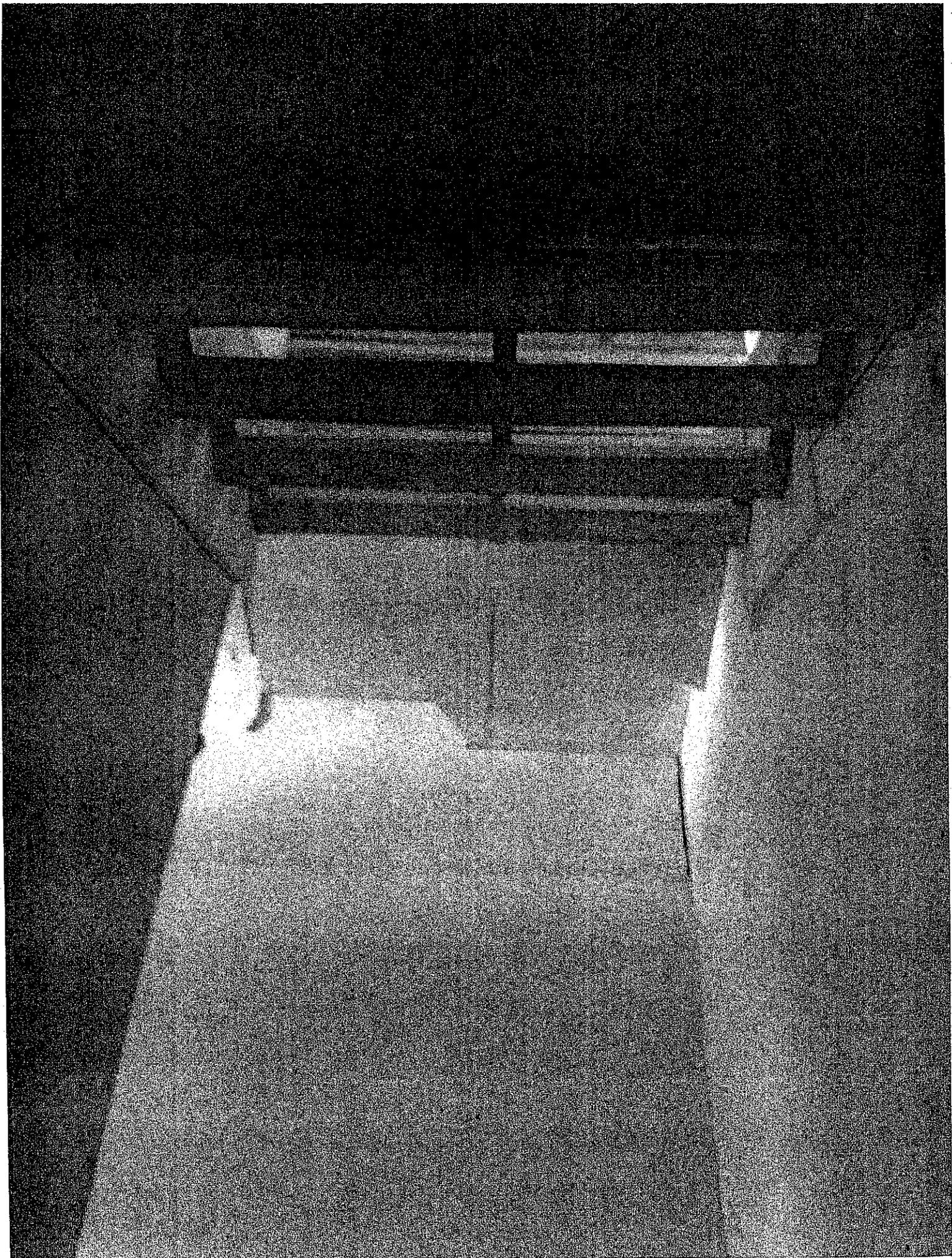
**DESIGN**  
1487 HOLLOWAY ROAD AUBURN, MI 48221 P-617.424.4252  
REGISTERED ARCHITECT  
**CRAIG L. SPIEGEL**

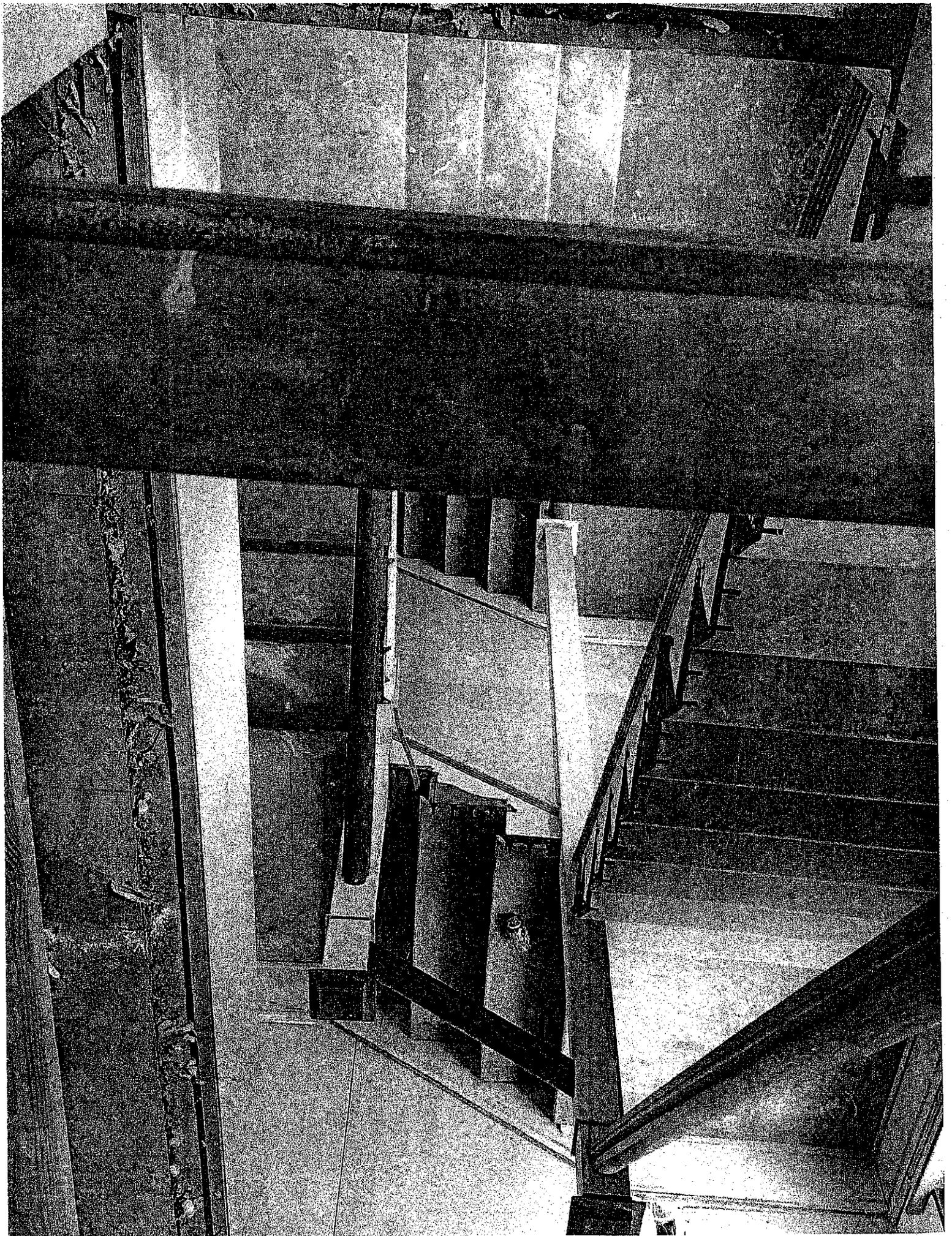
JOB NO.  
1424  
B1-A.4

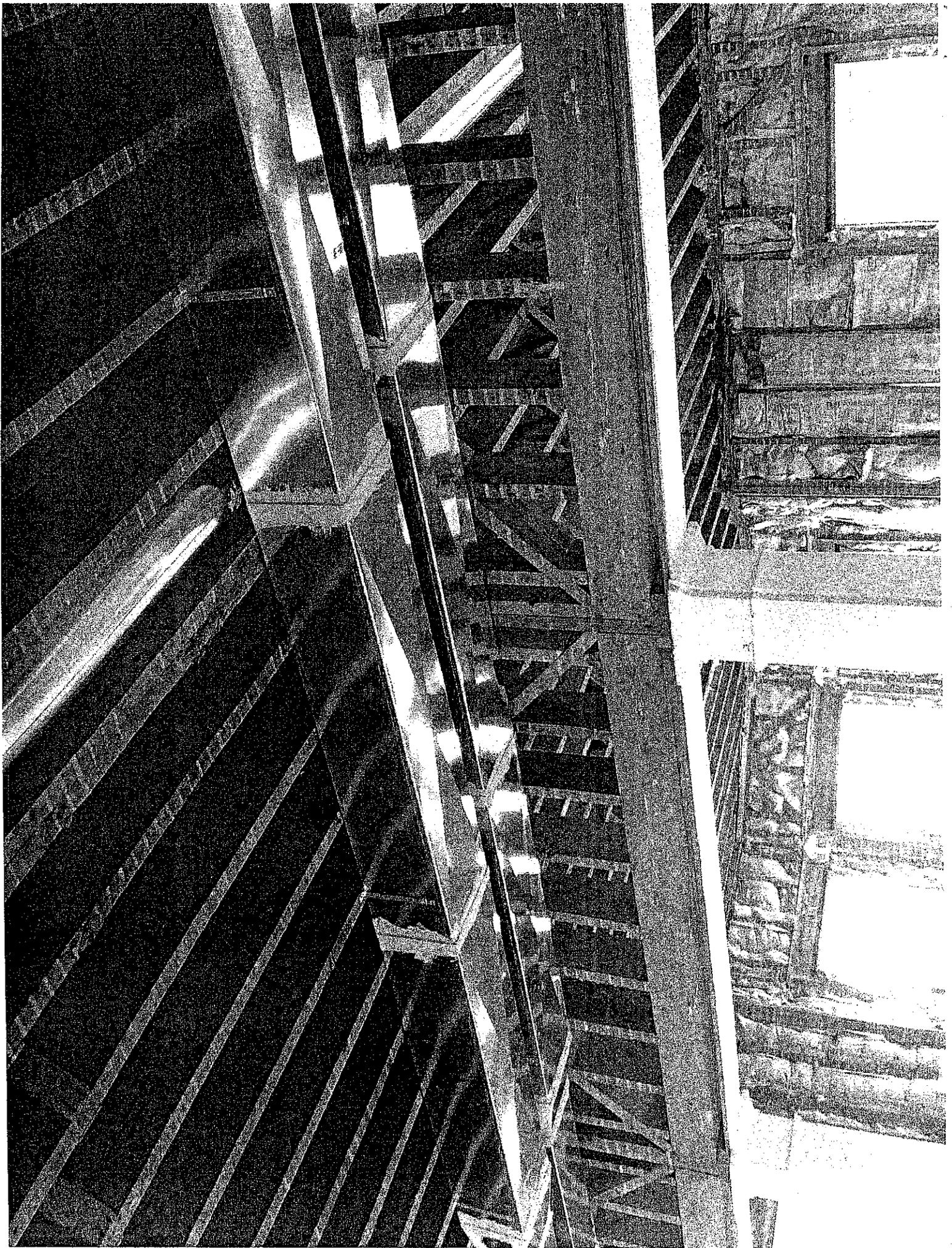
This rehabilitation of Mary Sheldon Ismon House, which is listed in the National Register of Historic Places, has been funded with the assistance of matching grants-in-aid from the Michigan Heritage Restoration Program. The grants-in-aid are awarded by and are administered through the Michigan State Housing Development Authority, Michigan State Historic Preservation Office, in partnership with the Michigan Economic Development Corporation.

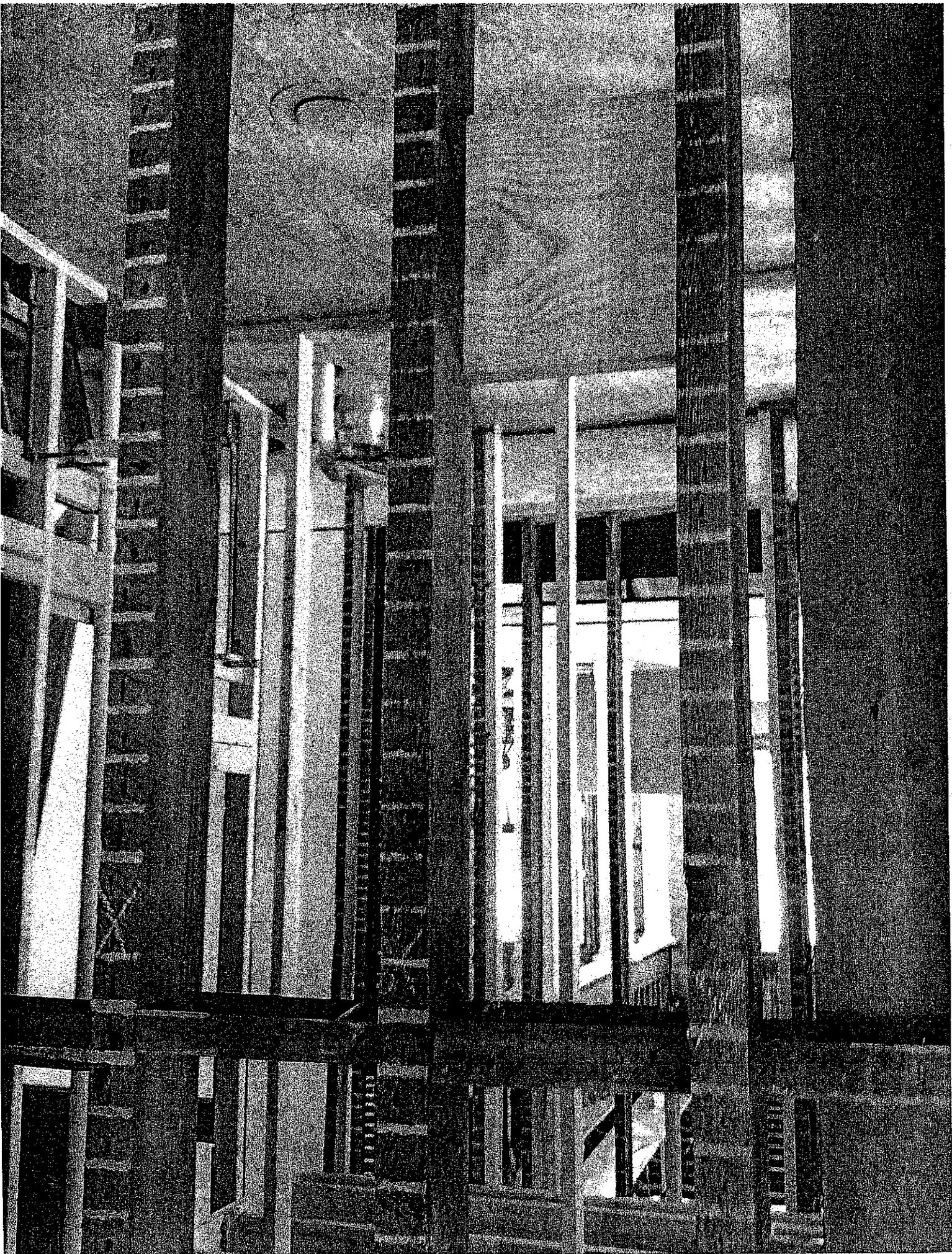


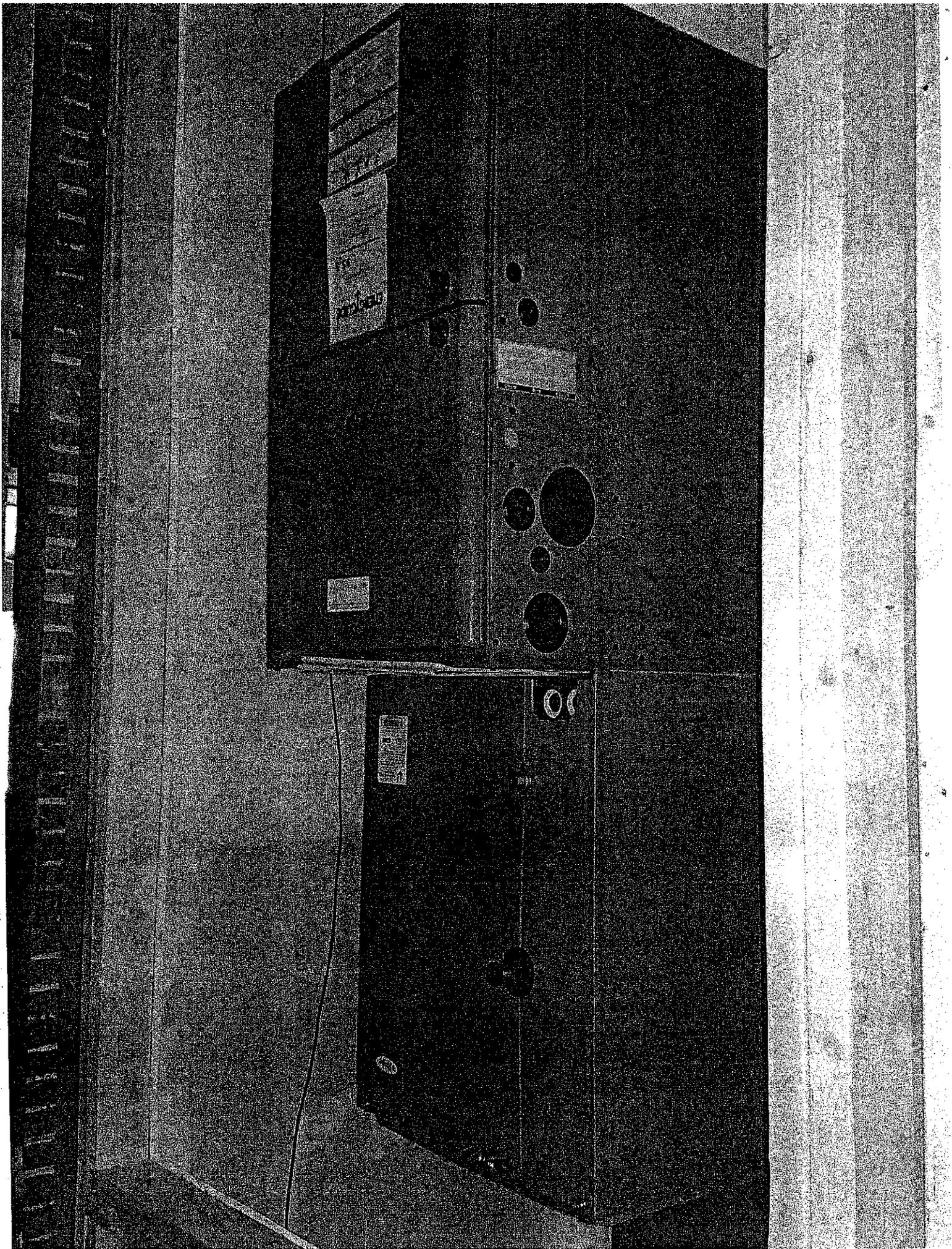
EXIT 100

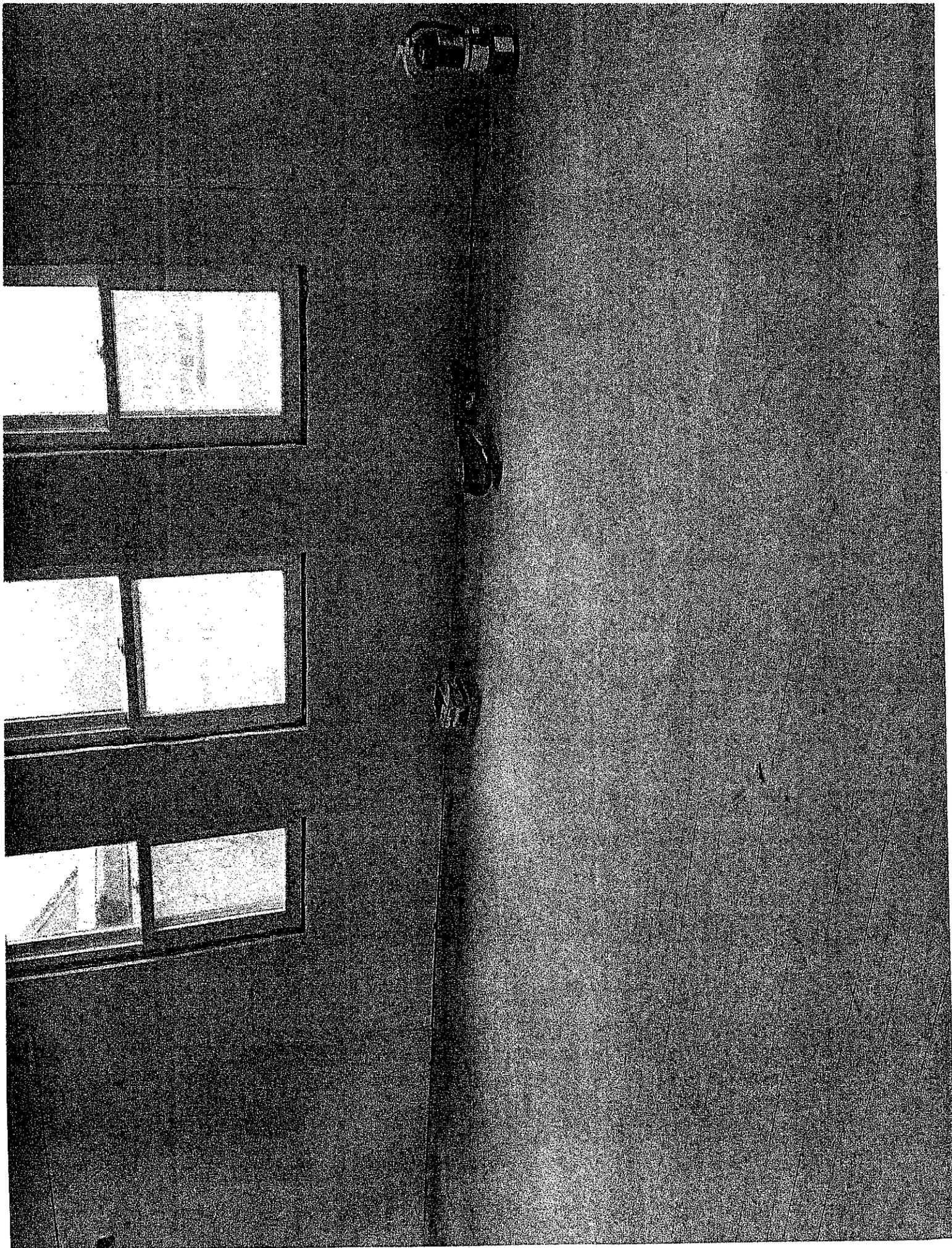


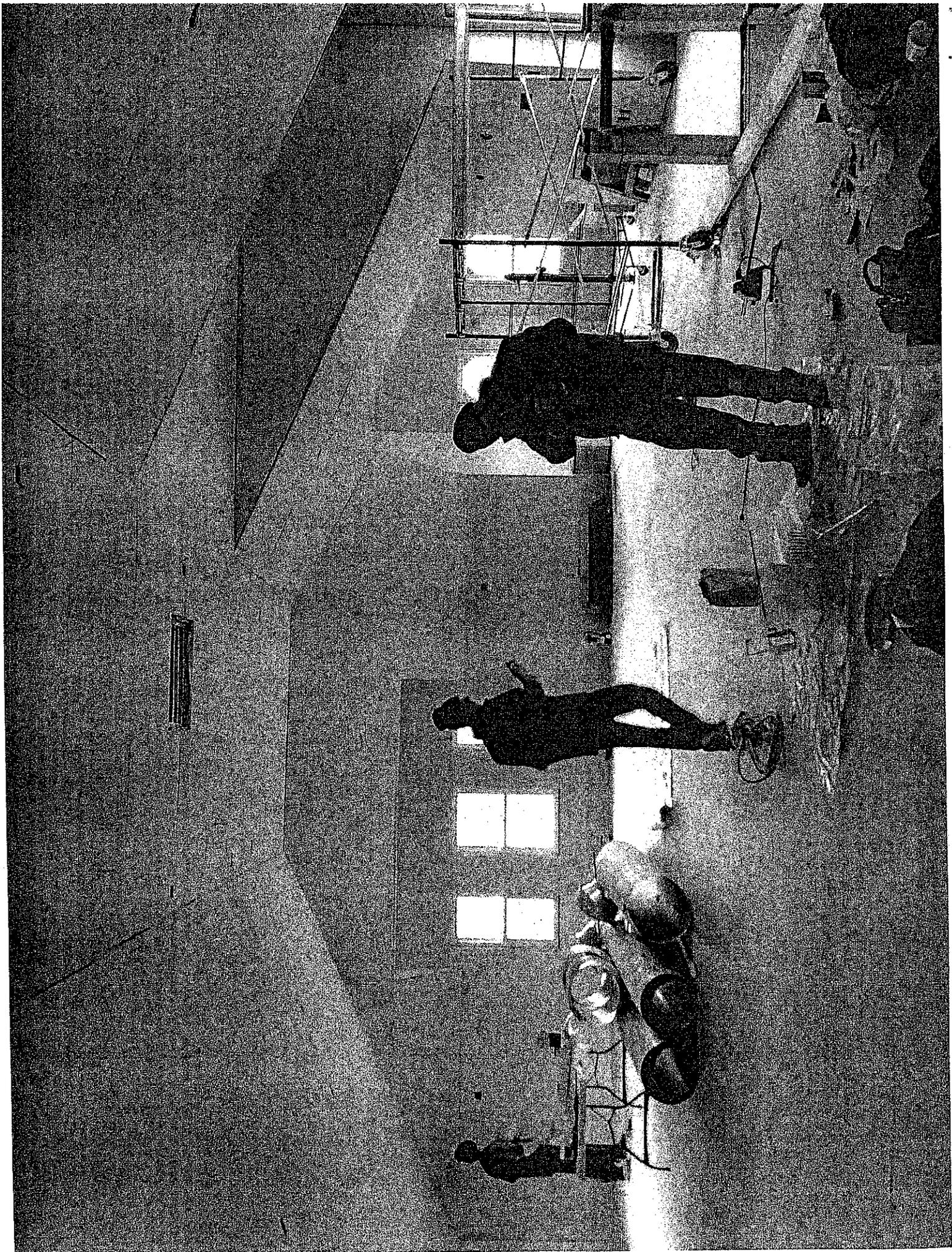


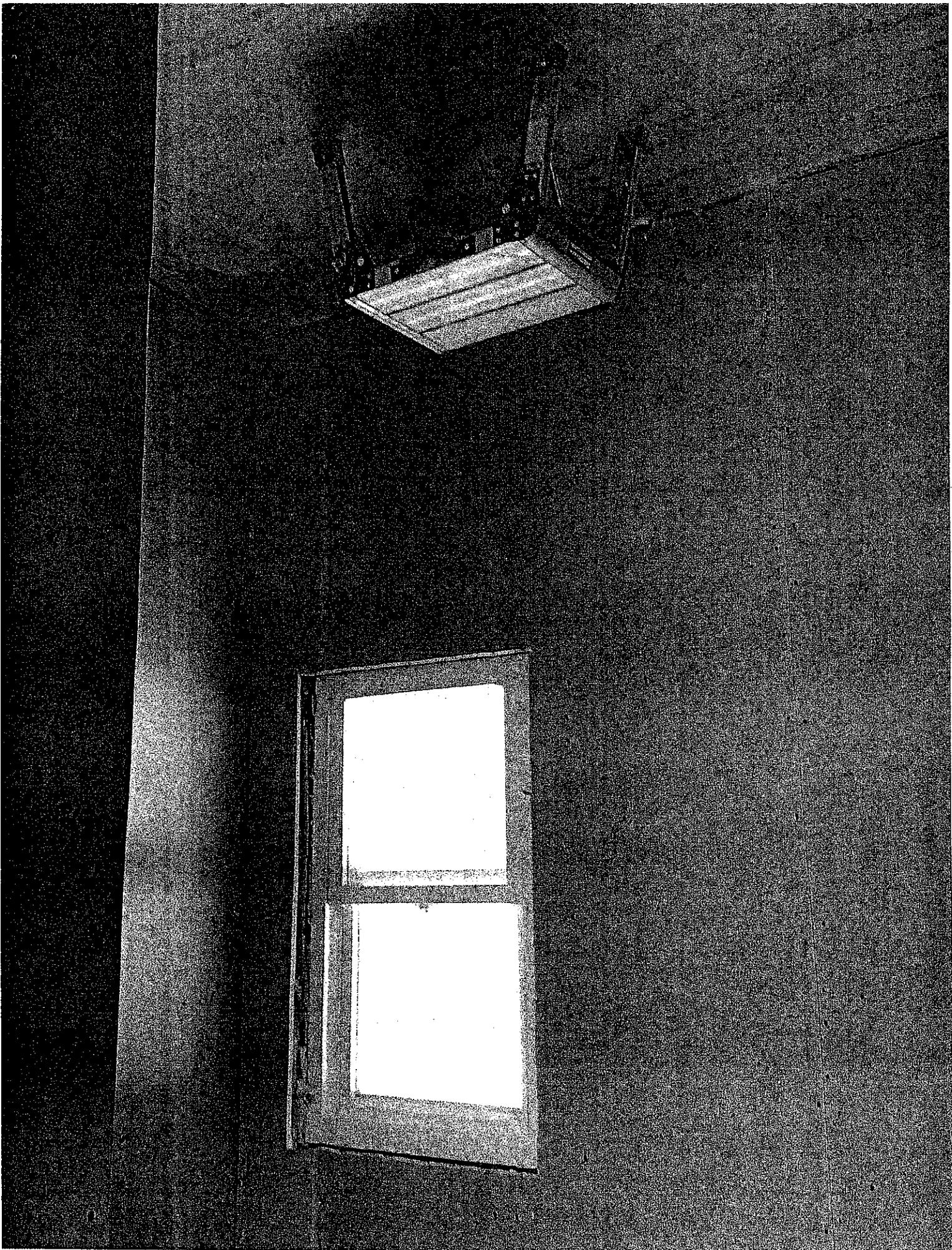


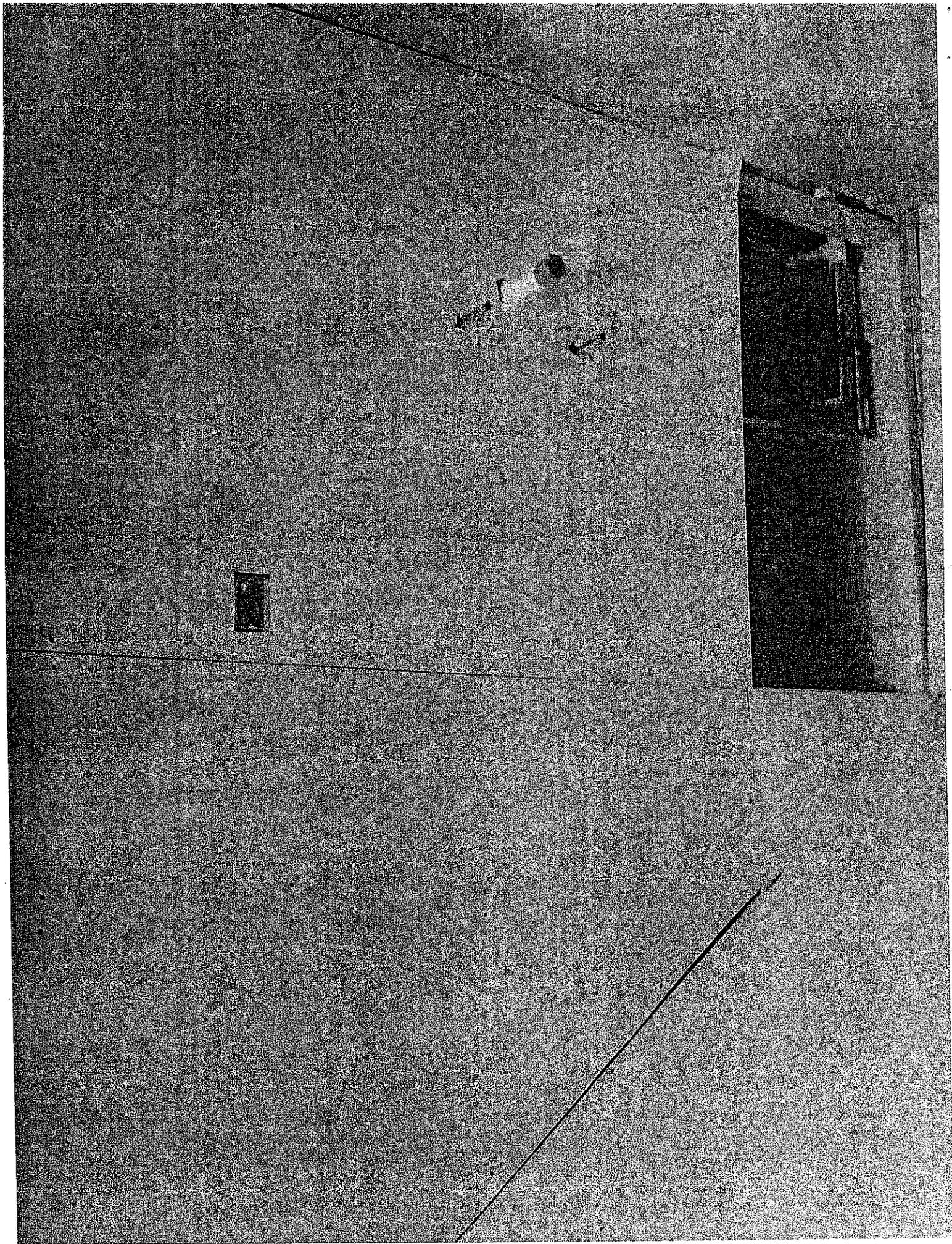












# SCHEDULE OF VALUES

Architect: CLS Design  
 Contractor: David Bontrager  
 Project: Mary Sheldon Ismon House (3rd floor renovations)

Application No: 4  
 Application Date: 4/13/2016  
 Period to: 4/13/2016  
 Architect's Project No: 1424

A	B	C	D	E	F	G	H	I	J
Item No.	Description of Work	Schedule Value	Work Completed From Previous Application (D+E)	This Period	Materials Presently Stored (Not in D or E)	Total Completed and Stored to Date (D+E+F)	Balance to Finish	Retainage this period	Total Retainage
						% (G/C)			
1	General Conditions	\$18,000.00	12,500.00	\$4,000.00		\$16,500.00	\$1,500.00	\$400.00	\$1,650.00
2	Demolition	\$9,500.00	9,500.00	\$0.00		\$9,500.00	\$0.00	\$0.00	\$950.00
3	Flooring	\$19,250.00	2,887.50	\$0.00		\$2,887.50	\$16,362.50	\$0.00	\$288.75
4	Drywall	\$26,500.00	12,500.00	\$8,000.00		\$20,500.00	\$6,000.00	\$800.00	\$2,050.00
5	Doors and Hardware	\$6,000.00	0.00	\$0.00		\$0.00	\$6,000.00	\$0.00	\$0.00
6	Rough Carpentry	\$15,550.00	14,900.00	\$650.00		\$15,550.00	\$0.00	\$65.00	\$1,555.00
7	Wood trim & moldings	\$10,600.00	0.00	\$0.00		\$0.00	\$10,600.00	\$0.00	\$0.00
8	Woodwork Refurbish	\$10,500.00	0.00	\$0.00		\$0.00	\$10,500.00	\$0.00	\$0.00
9	Painting	\$8,200.00	0.00	\$0.00		\$0.00	\$8,200.00	\$0.00	\$0.00
10	Signage	\$2,000.00	340.00	\$0.00		\$340.00	\$1,660.00	\$0.00	\$34.00
11	Bathroom	\$10,250.00	5,125.00	\$4,000.00		\$9,125.00	\$1,125.00	\$400.00	\$912.50
12	Plumbing	\$14,578.00	13,000.00	\$0.00		\$13,000.00	\$1,578.00	\$0.00	\$1,300.00
13	Mechanical	\$35,762.00	15,600.00	\$0.00		\$15,600.00	\$20,162.00	\$0.00	\$1,560.00
14	Electrical	\$26,143.00	12,000.00	\$0.00		\$12,000.00	\$14,143.00	\$0.00	\$1,200.00
15									
16									
17									
18									
19									
20									
21									
Totals		\$212,896.50	\$98,352.50	\$16,650.00	\$0.00	\$115,002.50	\$97,894.00	\$1,665.00	\$11,500.25

\$14,985.00

Total Minus Retainage

Approved:  Craig L. Spiegel  
 Approved:  Shirley Zeller







# SCHEDULE OF VALUES

Architect: CLS Design  
 Contractor: David Bontrager  
 Project: Mary Sheldon Ismon House (3rd floor renovations)  
 Application No: 1424  
 Application Date:  
 Period for:  
 Architect's Project No: 1424

A Item No.	B Description of Work	C Scheduled Value	D Work Completed		F Materials Presently Stored (Not in D or E)	G Total Completed and Stored to Date (D+E+F)	H Balance to Finish	I Retainage
			From Previous Application (D+E)	This Period				
1	General Conditions	\$18,000.00		\$6,000.00		6,000.00	\$12,000.00	
2	Demolition	\$9,500.00		\$9,000.00		9,000.00	\$500.00	
3	Flooring	\$19,250.00		\$2,887.50		\$2,887.50	\$16,362.50	
4	Drywall	\$26,503.50		\$0.00		0.00	\$26,503.50	
5	Doors and Hardware	\$6,000.00		\$0.00		0.00	\$6,000.00	
6	Rough Carpentry	\$15,550.00		\$12,400.00		\$12,400.00	\$3,150.00	
7	Wood trim & moldings	\$10,600.00		\$0.00		\$0.00	\$10,600.00	
8	Woodwork Refurbish	\$10,500.00		\$0.00		\$0.00	\$10,500.00	
9	Painting	\$8,200.00		\$0.00		\$0.00	\$8,200.00	
10	Signage	\$2,000.00		\$0.00		\$0.00	\$2,000.00	
11	Bathroom	\$10,250.00		\$5,125.00		\$5,125.00	\$5,125.00	
12	Plumbing	\$14,578.00		\$0.00		0.00	\$14,578.00	
13	Mechanical	\$35,762.00		\$0.00		0.00	\$35,762.00	
14	Electrical	\$26,143.00		\$0.00		0.00	\$26,143.00	
15								
16								
17								
18								
19								
20								
21								
22								
23								
24								
25								
Totals		\$212,836.50	\$0.00	\$35,412.50	\$0.00	\$35,412.50	\$177,424.00	\$0.00

RECEIVED  
 FEB 23 AM 11  
 BY

Approved: *Shirley Ellen, Ismon House*  
 248-806-808, 00  
 2-23-16





# DAVID BONTRAGER

Non-GMO Feeds with CRYSTAL CREEK Premixes  
 Feeds • Extruded Soybeans  
 29301 N Drive South  
 Homer, Michigan 49245  
 Ph. (517) 568-3487

CUSTOMER'S ORDER NO. \_\_\_\_\_ PHONE \_\_\_\_\_ DATE 3-8-16

NAME City of Albion  
 ADDRESS \_\_\_\_\_

SOLD BY	CASH	C.O.D.	CHARGE	ON ACCT.	MOSE. RET'D.	PAID OUT
---------	------	--------	--------	----------	--------------	----------

QTY	DESCRIPTION	PRICE	AMOUNT
	General Conditions	4000	00
	Demolition	500	00
	Rough carpentry	2500	00
	Plumbing	13000	00
	Electrical	12000	00
	Signage	340	00
		<del>32340</del>	00
	Retainage	(3234)	
		29106	00

*David Bontrager*  
*Shirley Zeller*

RECEIVED BY \_\_\_\_\_ TAX \_\_\_\_\_  
 TOTAL \_\_\_\_\_



# SCHEDULE OF VALUES

Architect: CLS Design  
 Contractor: David Bontrager  
 Project: Mary Sheldon Ismon House (3rd floor renovations)

Application No: 2  
 Application Date: 3/8/2016  
 Period to: 3/8/2016  
 Architect's Project No: 1424

Item No.	Description of Work	Scheduled Value	D		E	F	G	H	I	J
			Work Completed From Previous Application (D+E)	This Period						
1	General Conditions	\$18,000.00	6,000.00	\$4,000.00			\$10,000.00	\$8,000.00	\$400.00	\$1,000.00
2	Demolition	\$9,500.00	9,000.00	\$500.00			\$9,500.00	\$0.00	\$50.00	\$950.00
3	Flooring	\$19,250.00	\$2,887.50	\$0.00			\$2,887.50	\$16,362.50	\$0.00	\$288.75
4	Drywall	\$26,503.50	0.00	\$0.00			\$0.00	\$26,503.50	\$0.00	\$0.00
5	Doors and Hardware	\$6,000.00	0.00	\$0.00			\$0.00	\$6,000.00	\$0.00	\$0.00
6	Rough Carpentry	\$15,550.00	\$12,400.00	\$2,500.00			\$14,900.00	\$650.00	\$250.00	\$1,490.00
7	Wood trim & moldings	\$10,600.00	\$0.00	\$0.00			\$0.00	\$10,600.00	\$0.00	\$0.00
8	Woodwork Refurbish	\$10,500.00	\$0.00	\$0.00			\$0.00	\$10,500.00	\$0.00	\$0.00
9	Painting	\$8,200.00	\$0.00	\$0.00			\$0.00	\$8,200.00	\$0.00	\$0.00
10	Signage	\$2,000.00	\$0.00	\$340.00			\$340.00	\$1,660.00	\$34.00	\$34.00
11	Bathroom	\$10,250.00	\$5,125.00	\$0.00			\$5,125.00	\$5,125.00	\$0.00	\$532.50
12	Plumbing	\$14,578.00	0.00	\$13,000.00			\$13,000.00	\$1,578.00	\$1,300.00	\$1,300.00
13	Mechanical	\$35,762.00	0.00	\$0.00			\$0.00	\$35,762.00	\$0.00	\$0.00
14	Electrical	\$26,143.00	0.00	\$12,000.00			\$12,000.00	\$14,143.00	\$1,200.00	\$1,200.00
15										
16										
17										
18										
19										
20										
21										
Totals		\$212,836.50	\$35,412.50	\$32,340.00	\$0.00	\$67,752.50	\$145,084.00	\$9,234.00	\$6,775.25	\$6,775.25

Total Minus Retainage

\$29,106.00

Approved:  Craig L. Spiegel

Approved:  Shirley Zeller





# DAVID BONTRAGER

Non-GMO Feeds with CRYSTAL CREEK Premixes  
Feeds • Extruded Soybeans  
29301 N Drive South  
Homer, Michigan 49245  
Ph. (517) 568-3487

CUSTOMER'S ORDER NO. \_\_\_\_\_ PHONE \_\_\_\_\_ DATE 3-31-16

NAME City of Albion

ADDRESS 112 West Cass St

Albion MI 49224

SOLD BY \_\_\_\_\_ CASH \_\_\_\_\_ G.O.D. \_\_\_\_\_ CHARGE \_\_\_\_\_ ON ACCT. \_\_\_\_\_ MOSE. RET'D. \_\_\_\_\_ PAID OUT \_\_\_\_\_

QTY DESCRIPTION PRICE AMOUNT

QTY	DESCRIPTION	PRICE	AMOUNT
	Mechanical		15,600
	Drywall		12,500
	General conditions		2,500
	RETAINAGE		(3,060)

\$27,540

*Approved*  
*CSA [Signature]* CLS DESIGN

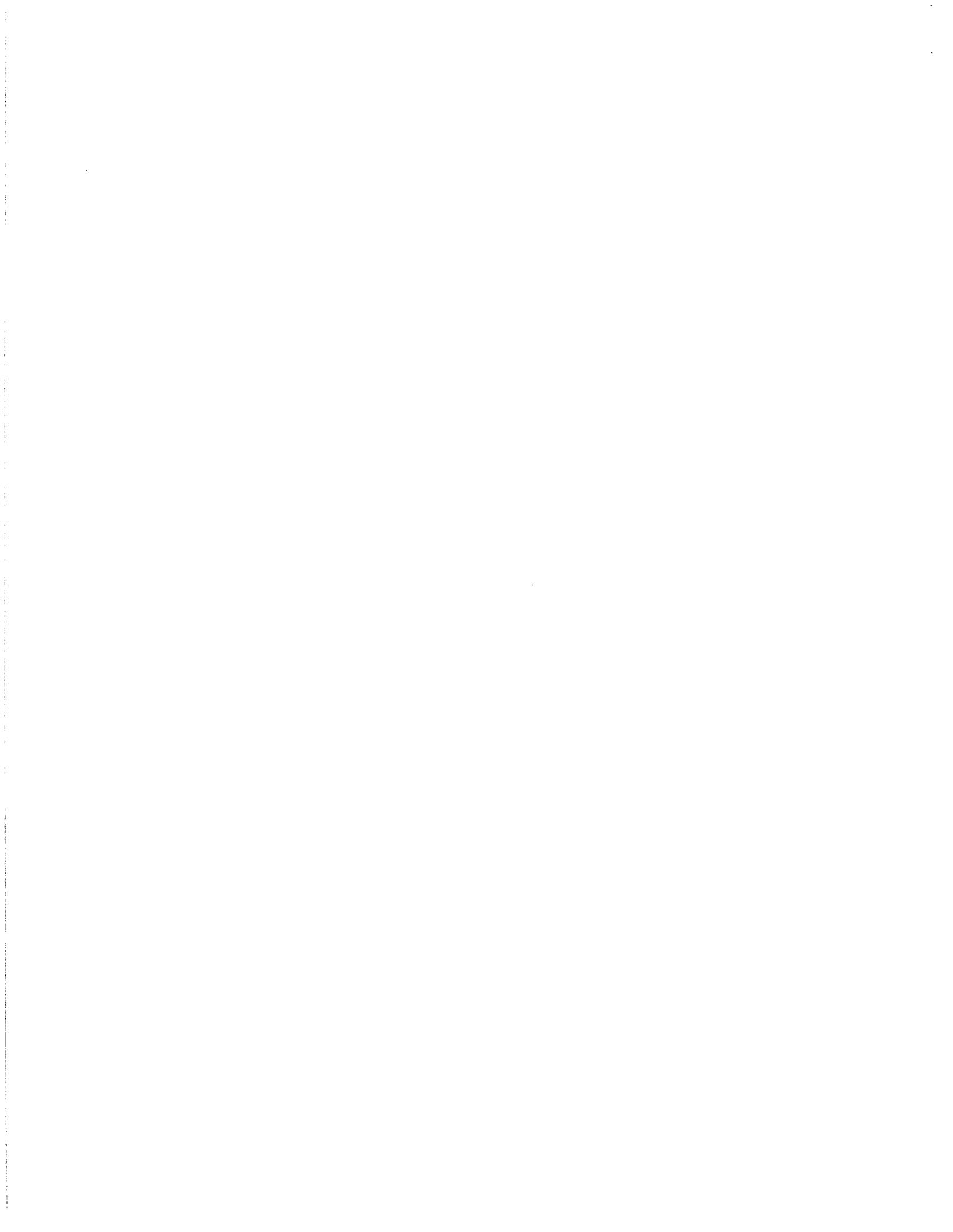
*Shirley Zeller* ISMOU HOUSE

RECEIVED BY \_\_\_\_\_ TAX \_\_\_\_\_ TOTAL \_\_\_\_\_

2015

All claims and returned goods MUST be accompanied by this bill.

THANK YOU



# SCHEDULE OF VALUES

Architect: CLS Design  
 Contractor: David Bontrager  
 Project: Mary Sheldon Simon House (3rd floor renovations)

Application No: 3  
 Application Date: 3/31/2016  
 Period to: 3/31/2016  
 Architect's Project No: 1424

A Item No.	B Description of Work	C Scheduled Value	D		E This Period	F Materials Presently Stored (Not in D or E)	G Total Completed and Stored to Date (D+E+F)	H Balance to Finish	I Retainage this period	J Total Retainage
			Work Completed From Previous Application (D+E)							
1	General Conditions	\$18,000.00	10,000.00	\$2,500.00			\$12,500.00	\$5,500.00	\$250.00	\$1,250.00
2	Demolition	\$9,500.00	9,500.00	\$0.00			\$9,500.00	\$0.00	\$0.00	\$950.00
3	Flooring	\$19,250.00	2,887.50	\$0.00			\$2,887.50	\$16,362.50	\$0.00	\$788.75
4	Drywall	\$26,503.50	0.00	\$12,500.00			\$12,500.00	\$14,003.50	\$1,250.00	\$1,250.00
5	Doors and Hardware	\$6,000.00	0.00	\$0.00			\$0.00	\$6,000.00	\$0.00	\$0.00
6	Rough Carpentry	\$15,550.00	14,900.00	\$0.00			\$14,900.00	\$650.00	\$0.00	\$1,490.00
7	Wood trim & moldings	\$10,600.00	0.00	\$0.00			\$0.00	\$10,600.00	\$0.00	\$0.00
8	Woodwork Refurbish	\$10,500.00	0.00	\$0.00			\$0.00	\$10,500.00	\$0.00	\$0.00
9	Painting	\$8,200.00	0.00	\$0.00			\$0.00	\$8,200.00	\$0.00	\$0.00
10	Signage	\$2,800.00	340.00	\$0.00			\$340.00	\$1,660.00	\$0.00	\$34.00
11	Bathroom	\$10,250.00	5,125.00	\$0.00			\$5,125.00	\$5,125.00	\$0.00	\$512.50
12	Plumbing	\$14,578.00	13,090.00	\$0.00			\$13,090.00	\$1,578.00	\$0.00	\$1,300.00
13	Mechanical	\$35,762.00	0.00	\$15,600.00			\$15,600.00	\$20,162.00	\$1,560.00	\$1,560.00
14	Electrical	\$26,143.00	12,000.00	\$0.00			\$12,000.00	\$14,143.00	\$0.00	\$1,200.00
15										
16										
17										
18										
19										
20										
21										
Totals		\$212,836.50	\$67,752.50	\$30,600.00		\$0.00	\$98,352.50	\$114,484.00	\$3,060.00	\$9,835.25

Total Minus Retainage

\$27,540.00

Approved:  Craig L. Spiegel  
 Approved:  Shirley Zeller







# SCHEDULE OF VALUES

Architect: **CLS Design** Application No: **5**  
 Contractor: **David Bontrager** Application Date: **5/3/2016**  
 Project: **Mary Sheldon Ismon House (3rd floor renovations)** Period to: **5/3/2016**  
 Architect's Project No: **1424**

Item No.	Description of Work	Scheduled Value	D		E	F	G	%	H	I	J
			Work Completed From Previous Application (D+E)	This Period							
1	General Conditions	\$18,000.00	16,500.00	\$0.00		\$16,500.00	92%	\$1,500.00	\$0.00	\$1,650.00	
2	Demolition	\$9,500.00	9,500.00	\$0.00		\$9,500.00	100%	\$0.00	\$0.00	\$950.00	
3	Flooring	\$19,250.00	2,887.50	\$0.00		\$2,887.50	15%	\$16,362.50	\$0.00	\$288.75	
4	Drywall	\$26,503.50	20,500.00	\$4,000.00		\$24,500.00	92%	\$2,003.50	\$400.00	\$2,450.00	
5	Doors and Hardware	\$5,000.00	0.00	\$4,500.00		\$4,500.00	75%	\$1,500.00	\$450.00	\$450.00	
6	Rough Carpentry	\$15,550.00	15,550.00	\$0.00		\$15,550.00	100%	\$0.00	\$0.00	\$1,555.00	
7	Wood trim & moldings	\$10,500.00	0.00	\$0.00		\$0.00	0%	\$10,500.00	\$0.00	\$0.00	
8	Woodwork, Refurbish	\$10,500.00	0.00	\$3,500.00		\$3,500.00	33%	\$7,000.00	\$350.00	\$350.00	
9	Painting	\$8,200.00	0.00	\$3,500.00		\$3,500.00	43%	\$4,700.00	\$350.00	\$350.00	
10	Signage	\$2,000.00	340.00	\$0.00		\$340.00	17%	\$1,660.00	\$0.00	\$94.00	
11	Bathroom	\$10,250.00	9,125.00	\$0.00		\$9,125.00	89%	\$1,125.00	\$0.00	\$912.50	
12	Plumbing	\$14,578.00	13,000.00	\$0.00		\$13,000.00	89%	\$1,578.00	\$0.00	\$1,300.00	
13	Mechanical	\$35,762.00	15,600.00	\$0.00		\$15,600.00	44%	\$20,162.00	\$0.00	\$1,560.00	
14	Electrical	\$26,143.00	12,000.00	\$0.00		\$12,000.00	46%	\$14,143.00	\$0.00	\$1,200.00	
15											
16											
17											
18											
19											
20											
21											
Totals		\$212,836.50	\$115,002.50	\$15,500.00		\$130,502.50	61%	\$82,334.00	\$1,550.00	\$9,509.00	

Total Minus Retainage

**\$13,950.00**

Approved: Craig L. Spiegel

Approved: Shirley Zeller

248-806-802.00

12m

5-3-16

